

**CITY OF  
REVELSTOKE**  
Revelstoke Station  
Heritage Conservation  
Area Design Guidelines

City of Revelstoke Official  
Community Plan 2022

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## 1.0 Definitions

- 1) **Essential Features and Characteristics** means special features or characteristics that contribute to the heritage value or heritage character of the area.
- 2) **Heritage Alteration Permit** means a permit under section 617 of the *Local Government Act*.
- 3) **Principle Building** means a **building** or structure containing the principle use of the property.
- 4) **Protected Heritage Property** means **protected** heritage property under the *Local Government Act*.
- 5) **Right of Way** means a street, lane, walkway or any other way open to public use.

## 2.0 Designation

The area shown on Figure 1, is designated as the Revelstoke Station Heritage Conservation Area.

## 3.0 Justification

The residential area designated in this section developed rapidly between 1897 and 1915, a period of early, permanent settlement centered around the Revelstoke Station, located on the mainline of the recently completed transcontinental railway, the Canadian Pacific Railway. The area's origins and history are unique in Revelstoke. Originally established to provide housing for the families of workers employed by the Canadian Pacific Railway and associated businesses, it was initially developed exclusively for residential purposes, a land use that has continued uninterrupted to the present. Conservation of the residential buildings and related land use characteristics in the area will preserve the only remaining example of a continuously occupied railway-related residential neighbourhood within the spectacular and challenging environment of the Mountain Division of the Canadian Pacific Railway.

## 4.0 Objectives

The objectives of the designation of the heritage conservation area are to:

- 1) Preserve the heritage buildings and land features
  - a) By ensuring that Protected Heritage Property is neither demolished nor altered in any way that is not compatible with its original design, function or appearance.
- 2) Preserve the integrity of the historic streetscapes
  - a) By ensuring that the Essential Features and Characteristics are neither demolished nor altered in any way that is not compatible with their original function, appearance, or spatial relationships; and
  - b) By ensuring that any new buildings, or additions to existing buildings, are designed and constructed to complement the continuous streetscapes of steep-roofed worker housing that were established in the area between 1897 and 1915, and not detract from the appearance and overall effect of the buildings, land and features listed in **Section 11** of the design guidelines.

## 5.0 Guidelines

The guidelines respecting the manner by which the objectives of the heritage conservation area designation are to be achieved, for the purpose of issuing Heritage Alteration Permits, are listed in **Section 11** of the design guidelines.

## 6.0 Exemptions from Permit Requirements

Exemptions to Heritage Alteration permit requirements are specified in the City’s Official Community Plan, as amended from time to time.

## 7.0 Protected Heritage Property

The buildings, land and features listed in **Section 10** of the design guidelines.

## 8.0 Essential Features and Characteristics

For the purposes of sections 614(2)(a) of the *Local Government Act*, the features or characteristics that contribute to the heritage values and character of the area are the following:

- 8.1 Continuous streetscapes of house-form buildings with steeply pitched roofs and landscaped yards fronting onto Third through Seventh Streets, or Mackenzie Avenue;
- 8.2 Predominantly vernacular building styles including:
  - a) Gable fronted houses
  - b) Four square houses with hip roofs
  - c) Gambrel gabled houses
  - d) Bungalows with hip roofs
  - e) Craftsman bungalows with shed roofs;
- 8.3 Occasional one-of-a-kind house-form buildings with High Victorian and Late Victorian characteristics, including:
  - a) Gothic Revival
  - b) Colonial Revival
  - c) Queen Anne
  - d) Shingle Style;
- 8.4 The overall pattern of land use and subdivision based on a grid comprised of avenues perpendicular to the railway right of way with cross streets enclosing groups of 25 by 100 foot lots arranged in rectangular blocks divided rectilinearly by alleys; and
- 8.5 Mature trees set at or near property boundaries and lining Mackenzie Avenue and Fourth through Seventh Streets.

## 9.0 Revelstoke Station Heritage Conservation Area Boundary

Boundary of the Revelstoke Station Residential Heritage Conservation Area.



Figure 1: Revelstoke Station Heritage Conservation Area

**10.0 Protected Heritage Property in the Revelstoke Station Residential Heritage Conservation Area**

**10.1 Buildings**

a) The following buildings, and any associated structures or features:

*Table 1: Protected Heritage Property in Conservation Area*

Revelstoke United Church	314 Mackenzie Avenue	1937	016-796-667, 016-796-675, 016-796-683	Lot 7 - 9	26	27	23	2 W6M	636B
Florence McCarty Home	400 Mackenzie Avenue	1900	024-743-704	Lot A		27	23	2 W6M	NEP66483
J.W. Scott House	403 Mackenzie Avenue	1899	010-182-373, 010-182-934, 010-183-141	Lot 16 - 18	36	27		2 W6M	636B
Porter House	410 Mackenzie Avenue	1905	016-220-536, 016-220-544	Lot 6 & 7	35	27	23	2 W6M	636B
P. Agrean House	414 Mackenzie Avenue	1901	010-390-138, 010-390-162	Lot 8 & 9	35	27	23	2 W6M	636B
	415 Mackenzie Avenue		012-502-634, 012-502-669	Lot 10 & 11	36	27	23	2 W6M	636B
	509 Mackenzie Avenue	1910	016-219-198, 016-219-210	Lot 14 & 15	37	27	23	2 W6M	636B
	511 Mackenzie Avenue		006-430-678, 006-431-003	Lot 12 & 13	37	27	23	2 W6M	636B
R.M. Hume House	515 Mackenzie Avenue	1897	011-010-452, 011-010-479	Lot 10 & 11	37	34	23	2 W6M	636B
	603 Mackenzie Avenue		012-393-410, 012-394-076	Lot 17 & 18	46	34	23	2 W6M	636B
Imperial Bank Manager's House	605 Mackenzie Avenue	1898	016-202-899, 016-202-902	Lot 15 & 16	46	27	23	2 W6M	636B
Hardman House	611 Mackenzie Avenue	1935	025-115-740	Parcel A (KR82745)	46	27	23	2 W6M	636B
	614 Mackenzie Avenue		018-296-394	Parcel C (See XG17696) of	45	27	23	2 W6M	636B
	705 Mackenzie Avenue		011-385-677, 011-385-707	Parcel A (See 7688I) Lot 15 and Lot 16	47	27	23	2 W6M	636B
Lewis / Lindmark House	706 Mackenzie Avenue	1902	018-703-763	Parcel B (See XH10683)	48	27	23	2 W6M	636B
	709 Mackenzie Avenue		011-345-012, 011-345-110	Lot 14 and Parcel B (See 10765I) Lot 15	47	27	23	2 W6M	636B
Birch Lodge	815 Mackenzie Avenue	1905	018-722-865	Parcel A (See XH12401)	58	27	23	2 W6M	636B
Len Howson House	901 Mackenzie Avenue	1908	015-855-091	Lot 1	59	27	23	2 W6M	1244
	104 Ninth Street East		008-459-169, 008-459-185	Lot 2 and Parcel B (See 13733I) Lot 3	60	27	23	2 W6M	1244
Bolten House/Metho dist Church Manse	100 Third Street East	1899	011-540-125	Lot 10	26	27	23	2 W6M	636B
	101 Third Street East	1915	016-046-323	Lot 23	35	27	23	2 W6M	636B
Sturdy House	102 Third Street East	1905	015-165-914, 015-165-957	Lot 11 & 12	26	27	23	2 W6M	636B
Solloway House	103 Third Street East	1900	026-922-274	Parcel B (Being a Consolidation of Lots 21 & 22, See LA171797)	35	District Lot 27	23	2 W6M	636B
McNab/ Scott House	106 Third Street East	1902	016-219-341, 016-219-368	Lot 13 & 14	26	27	23	2 W6M	636B

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	107 Third Street East	1905	012-317-870, 012-317-896	Lot 19 & 20	35	27	23	2 W6M	636B
	111 Third Street East		007-569-297, 007-569-319	Lot 17 & 18	35	27	34	2 W6M	636B
	201 Third Street East		016-180-046, 016-180-054	Lot 1 & 2	34	27	23	2 W6M	636B
	204 Third Street East		016-223-039, 016-223-152	Parcel A (See 93311) of Lot 21 and Lot 22	27	27	23	2 W6M	636A
<b>K.G. McRae House</b>	209 Third Street East	1910	005-670-683, 005-676-151	Lot 5 & 6	34	27	23	2 W6M	636B & D Except Parcel A (See 8594I)
	213 Third Street East	1904	016-148-037, 016-148-061	Lot 7 and Parcel A (See 8594I) Lot 6	34	27	23	2 W6M	636B & D
	214 Third Street East	1905	016-180-097, 017-768-501	Lot 16 and Parcel A (See XF10640)	27	27	23	2 W6M	636A Except Parcel A (See 225331)
	217 Third Street East		012-425-397, 012-425-427	Lot 8 & 9	34	27	23	2 W6M	636D
<b>McGregor House</b>	219 Third Street East	1905	016-071-727	Lot 1		27	23	2 W6M	18872
	220 Third Street East	1910	010-673-806, 010-673-971	Lot 13 & 14	27	27	23	2 W6M	636A
<b>Armstrong House</b>	301 Third Street East	1910	016-202-970	Lot 1	33	27	23	2 W6M	636D
<b>Rutherford House</b>	306 Third Street East	1898	016-180-020, 016-180-038	Lot 21 & 22	28	27	23	2 W6M	636A
	308 Third Street East		015-675-513	Lot 20	28	27	23	2 W6M	636A
	309 Third Street East		013-463-195, 013-463-217	Lot 5 & 6	33	27	23	2 W6M	636D
	310 Third Street East		011-923-032, 011-923-075	Parcel A (See 159728I) of Lot 18 and Lot 19	28	27	23	2 W6M	636A
	#318 - 316 Third Street East		010-830-073, 010-830-103	Lot 15 & 16			23		636A
	320 Third Street East		014-359-944, 014360071	Lot 13 & 14	28	27	23	2 W6M	636A Except Parcel A (See 169271)
<b>Brown House</b>	321 Third Street East	1905	016-204-743, 016-204-760	Lot 11 & 12	33	27	23	2 W6M	636D
<b>Watt House</b>	405 Third Street East	1908	010-390-227, 010-390-308	Lot 3 & Parcel A (See 118183I) of Lot 4	32	27	23	2 W6M	636D
	406 Third Street East	1906	012-374-873	Lot 21	29	27	23	2 W6M	636A
	408 Third Street East	1906	014-010-399	Lot 20	29	27	23	2 W6M	636A
<b>Ross House</b>	409 Third Street East	1908	016-168-810, 016-168-828	Lot 5 and That Part of Lot 4	32	27	23	2 W6M	636D Lying South East of a Line Which Bisepts the North Easterly and South Westerly Boundary of the Said Lot
<b>Gallicano House</b>	421 Third Street East	1909	016-203-241, 016-203-259	Lot 11 & 12	32	27	23	2 W6M	636D
<b>Bowen House</b>	426 Third Street East	1901	015-764-311	Lot 9	30	27	23	2 W6M	636D
<b>Bowen House</b>	428 Third Street East	1904	016-162-986	Lot 8	30	27	23	2 W6M	636D
<b>Defoe House</b>	503 Third Street East	1913	015-049-841, 015-049-850	Lot 1 & 2	31	27	23	2 W6M	636D

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	<b>505 Third Street East</b>	<b>1910</b>	016-163-231	Lot 3	31	27	23	2 W6M	636D
<b>R. Casciato House</b>	<b>511 Third Street East</b>	<b>1912</b>	016-166-761, 016-166-779	Lot 5 & 6	31	27	23	2 W6M	636D
<b>Lund House</b>	<b>102 Fourth Street East</b>	<b>1910</b>	012-095-991, 012-096-016	Lot 10 & 11	35	35	23	2 W6M	636B
<b>Mrs. Alice Lee House</b>	<b>111 Fourth Street East</b>	<b>1904</b>	014-508-273, 014-508-281	Lot 17 & 18	38	27	23	2 W6M	636B
<b>Thompson House</b>	<b>200 Fourth Street East</b>	<b>1905</b>	016-219-481	Lot 24	34	27	23	2 W6M	636B
<b>Coughlin House</b>	<b>203 Fourth Street East</b>	<b>1905</b>	016-165-691, 016-165-705	Lot 1 & 2	39	27	23	2 W6M	636B
	<b>205 Fourth Street East</b>		013-474-103, 013-474-120	Lot 3 and Parcel A (See 97411) of Lot 4	39	27	23	2 W6M	636B
<b>F. Bourne House</b>	<b>209 Fourth Street East</b>	<b>1905</b>	012-169-625, 012-169-633	Lot 4 & 5	39	27	23	2 W6M	636B Except Parcel A (See 97411)
<b>Kenward House</b>	<b>212 Fourth Street East</b>	<b>1909</b>	016-880-056, 016-880-064	Lot 18 & 19	34	27	23	2 W6M	636B
	<b>216 Fourth Street East</b>	<b>1907</b>	023-109-009	Parcel C (See XJ7095)	34	27		2 W6M	636B
<b>B. Van Horne House</b>	<b>217 Fourth Street East</b>	<b>1905</b>	017-742-960	Parcel A (See XF7601)	39	27	23	2 W6M	636B
	<b>221 Fourth Street East</b>	<b>1905</b>	017-803-551	Parcel B (See XF13325) of	39	27	23	2 W6M	636B
	<b>222 Fourth Street East</b>	<b>1921</b>	017-801-222	Parcel A (See XF13222)	34	27	23	2 W6M	636 B & 636 D
	<b>300 Fourth Street East</b>	<b>1908</b>	016-166-914, 016-166-931	Lot 23 & 24	33	27	23	2 W6M	636D
	<b>301 Fourth Street East</b>		010-856-013, 010-855-998	Parcel A (See 15818I) of Lot 1 & 2	40	27	23	2 W6M	636D
	<b>304 Fourth Street East</b>	<b>1908</b>	012-736-244, 012-736-252	Lot 21 & 22	33	27	23	2 W6M	636D
<b>Hooley House</b>	<b>305 Fourth Street East</b>	<b>1912</b>	010-426-523, 010-427-139	Lot 2 & 3	40	27	23	2 W6M	636 B & D Except (1) Parcel A (See 15818I) and (2) Parcel B (See 15820I)
	<b>309 Fourth Street East</b>	<b>1904</b>	016-164-091, 017-134-676	Lot 4 & 5	40	27	23	2 W6M	636D
	<b>310 Fourth Street East</b>	<b>1905</b>	007-965-061, 007-965-125	Lot 19 & 20	33	27	23	2 W6M	636D
	<b>312 Fourth Street East</b>	<b>1910</b>	016-164-512, 016-164-539	Lot 17 & 18	33	27	23	2 W6M	636D
	<b>316 Fourth Street East</b>	<b>1910</b>	016-165-454, 017-344-107	Lot 15 & 16	33	34	23	2 W6M	636D
<b>Black House</b>	<b>317 Fourth Street East</b>	<b>1900</b>	024-090-522	Parcel A (KM24299)	40	27	23	2 W6M	636D
<b>Benjamin House</b>	<b>320 Fourth Street East</b>	<b>1905</b>	016-163-877, 016-163-923	Lot 13 & 14	33	27	23	2 W6M	636D
<b>C.F. Lundell House</b>	<b>321 Fourth Street East</b>	<b>1905</b>	016-204-450, 016-204-476	Lot 11 & 12	40	27	23	2 W6M	636D
	<b>401 Fourth Street East</b>		014-658-283, 014-658-305	Lot 1 & 2	41	27	23	2 W6M	636D
<b>Carlson House</b>	<b>407 Fourth Street East</b>	<b>1905</b>	016-203-089, 016-203-097	Lot 3 & 4	41	27	23	2 W6M	636D
	<b>408 Fourth Street East</b>		011-726-521, 011-726-563, 011-726-580	Lot 21 - 23	32	27	23	2 W6M	636D Except (1) Parcel A (See 7444I) and (2) Parcel B (See 150945I)
	<b>416 Fourth Street East</b>		016-165-586, 016-165-594	Lot 15 & 16	32	27	23	2 W6M	636D

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<b>Louise Sorrentino House</b>	<b>419 Fourth Street East</b>	<b>1913</b>	017-843-499	Parcel A (See XF17071)	41	27	23	2 W6M	636D
<b>J. Boyle House</b>	<b>420 Fourth Street East</b>	<b>1913</b>	014-089-831	Lot B		27	23	2 W6M	2292
	<b>421 Fourth Street East</b>	<b>1915</b>	011-034-807, 012-094-391	Lot 11 & 12	41	27	23	2 W6M	636D
	<b>422 Fourth Street East</b>		027-122-531	Lot 1		27	23	2 W6M	NEP84312
	<b>104 Fifth Street West</b>	<b>1925</b>	014-786-052, 014-786-133	Lot 8 & 9	37	27	23	2 W6M	636
<b>H. Pradolini House</b>	<b>105 Fifth Street West</b>	<b>1930</b>	014-077-973	Parcel B (See XC13065)	46	27	23	2 W6M	636
	<b>106 Fifth Street East</b>		016-710-398, 018-320-996	Lot 11 & Parcel D (See XG19876)	38	27	23	2 W6M	636B Except Parcel A (see 37798I)
<b>Kincaid House</b>	<b>107 Fifth Street East</b>	<b>1903</b>	017-813-255	Parcel A (See XF14123) of	45	27	23	2 W6M	636B
<b>Corning House</b>	<b>111 Fifth Street East</b>	<b>1907</b>	016-203-445, 016-203-453	Lot 17 & 18	45	27	23	2 W6M	636B
	<b>201 Fifth Street East</b>	<b>1923</b>	010-419-098, 011-399-279	Lot 1 and Parcel B (See 15722I) of Lot 2	44	27	23	2 W6M	636B
<b>Sturdy House</b>	<b>205 Fifth Street East</b>	<b>1911</b>	011-263-041, 011-263-202, 011-263-261	Lot 2-4	44	27	23	2 W6M	636B Except Parcel B (See 15722I) and Parcel A (See 22979I)
	<b>209 Fifth Street East</b>		011-622-440, 011-622-415	Parcel A (See22979I) of Lot 4 and Lot 5	44	27	23	2 W6M	636B
<b>Purvis House</b>	<b>211 Fifth Street East</b>	<b>1907</b>	026-792-613	Parcel A (Being a Consolidation of Lots 6 and 7, See LA122787)	44	27	23	2 W6M	636B
	<b>212 Fifth Street East</b>		016-204-492, 016-204-506	Lot 17 & 18	39	27	23	2 W6M	636B
<b>Wisener House</b>	<b>216 Fifth Street East</b>	<b>1906</b>	013-440-837, 013-441-019	Lot 15 & 16	39	27	23	2 W6M	636B
<b>Armstrong House</b>	<b>219 Fifth Street East</b>	<b>1905</b>	011-385-197, 011-385-235	Lot 9 & 10	44	27	23	2 W6M	636B
<b>Miller House</b>	<b>222 Fifth Street East</b>	<b>1908</b>	014-334-593, 014-334-607	Lot 13 &14	39	27	23	2 W6M	636B
<b>Mackenrot House</b>	<b>223 Fifth Street East</b>	<b>1905</b>	007-816-847, 007-816-880	Lot 11 & 12	44	27	23	2 W6M	636B
<b>Lundell House</b>	<b>303 Fifth Street East</b>	<b>1899</b>	017-900-361	Parcel A (See XF22316)	43	27	23	2 W6M	636B
	<b>304 Fifth Street East</b>	<b>1913</b>	016-046-331, 016-046-340	Lot 22 and Parcel B (See 21437I) of Lot 21	40	27	23	2 W6M	636B&D
	<b>308 Fifth Street East</b>	<b>1913</b>	013-733-788, 013-733-796	Lot 20 and Parcel A (See 21265I) of Lot 21	40	27	23	2 W6M	636B & D
	<b>309 Fifth Street East</b>	<b>1907</b>	014-967-545, 014-967-561, 014-967-588	Lot 4-6	43	27	23	2 W6M	636B Except Parcel A (See 11800I)
	<b>310 Fifth Street East</b>	<b>1913</b>	01601630087, 016-163-125	Lot 19 and Parcel B (See 21263I) Lot 18	40	27	23	2 W6M	636B & D
	<b>313 Fifth Street East</b>	<b>1910</b>	015-955-524, 015-955-583	Parcel A (See 11800I) of Lot 6 and Lot 7	43	27	23	2 W6M	636B
	<b>315 Fifth Street East</b>		008-518-505, 008-518-564	Lot 8 and Parcel A (See 14802I) of Lot 9	43	27	23	2 W6M	636B
<b>North House</b>	<b>320 Fifth Street East</b>	<b>1912</b>	016-202-937, 016-202-945	Lot 13 &14	40	34	23	2 W6M	636D

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<b>Norberg House</b>	<b>321 Fifth Street East</b>	<b>1907</b>	015-954-439, 015-954-447	Lot 11 & 12	43	27	23	2 W6M	636B & D
<b>Pettipiece House</b>	<b>402 Fifth Street East</b>	<b>1910</b>	012-135-232, 012-135-348	Lot 23 & 24	41	27	23	2 W6M	636D
<b>Morgan House</b>	<b>404 Fifth Street East</b>	<b>1907</b>	018-783-350	Parcel B (See XH16467)	41	27	23	2 W6M	636D
	<b>409 Fifth Street East</b>		016-204-808, 016-204-824	Lot 5 & 6	42	27	23	2 W6M	636D
<b>Mensing House</b>	<b>410 Fifth Street East</b>	<b>1907</b>	008-253-307, 008-253-323	Lot 19 & 20	41	27	23	2 W6M	636D
<b>Lee House</b>	<b>419 Fifth Street East</b>	<b>1909</b>	008-011-524, 008-011-753	Lot 9 & 10	42	27	23	2 W6M	636D
<b>Long House</b>	<b>423 Fifth Street East</b>	<b>1910</b>	010-423-907, 010-423-915	Lot 11 & 12	42	27	23	2 W6M	636D
	<b>104 Sixth Street West</b>	<b>1935</b>	016-220-510, 016-220-498, 016-220-501	Parcel A (See 6339I) of Lot 7 - 9	46	34	23	2 W6M	636
	<b>106 Sixth Street West</b>		016-220-587, 016-220-595, 016-220-609	Lot 7 - 9	46	27	23	2 W6M	636 Except Parcel A (See 6339I)
<b>McKenzie House</b>	<b>107 Sixth Street West</b>	<b>1910</b>	017-741-068	Parcel A (See XF7816)	47	27	23	2 W6M	636
	<b>103 Sixth Street East</b>	<b>1903</b>	016-166-728, 016-166-736	Lot 21 & 22	48	27	23	2 W6M	636I Except That Part Which Lies Southwest of a Line Parallel to and 10 Feet Perpendicularly Distant From the Southwesterly Boundary
	<b>112 Sixth Street East</b>		018-181-767	Parcel B (See XG7894)	45	27	23	2 W6M	636B
<b>Hon. T. Taylor</b>	<b>202 Sixth Street East</b>	<b>1907</b>	013-061-283, 013-061-313, 013-061-330	Lot 22-24	44	27	23	2 W6M	636B
	<b>205 Sixth Street East</b>	<b>1910</b>	013-716-590, 013-716-603	Lot 3 & 4	49	27	23	2 W6M	636I Except Parcel B (See 15819I)
	<b>208 Sixth Street East</b>	<b>1938</b>	016-203-186, 016-203-194	Lot 19 & 20	44	27	23	2 W6M	636B
	<b>211 Sixth Street East</b>	<b>1910</b>	016-203-267, 016-203-275	Parcel B (See 15817I) of Lot 5 and Lot 6	49	27	23	2 W6M	636I
<b>Tapping House</b>	<b>212 Sixth Street East</b>	<b>c. 1907</b>	005-949-734, 005-949-751	Lot 17 & 18	44	27	23	2 W6M	636B
<b>Corning House</b>	<b>213 Sixth Street East</b>	<b>1907</b>	011-899-085, 011-910-186	Lot 7 and Parcel A (See 9279I) of Lot 8	49	23	27	2 W6M	636I
<b>McLeod House</b>	<b>219 Sixth Street East</b>	<b>1907</b>	016-203-011, 016-203-020	Parcel A (See 9801I) of Lot 9 and Lot 10	49	27	23	2 W6M	636I
<b>McKenzie House</b>	<b>223 Sixth Street East</b>	<b>1910</b>	008-404-666, 008-404-691	Lot 11 & 12	49	27	23	2 W6M	636I
<b>Squarebriggs House</b>	<b>302 Sixth Street East</b>	<b>1908</b>	016-202-911, 016-202-929	Lot 23 & 24	43	27	23	2 W6M	636B
<b>T. Sturdy House</b>	<b>304 Sixth Street East</b>	<b>1910</b>	014-665-182, 014-665-191	Lot 21 & 22	43	27	23	2 W6M	636B
<b>Donaldson House</b>	<b>101 Seventh Street East</b>	<b>1904</b>	016-232-925, 016-232-941	Lot 19 & 20	57	27	23	2 W6M	636I
	<b>106 Seventh Street West</b>	<b>1910</b>	010-802-568, 010-802-592, 010-802-649, 010-809-490	Parcel A (See 9300-I) Lot 6 - 9	47	27	23	2 W6M	636

	107 Seventh Street East	1912	010-863-028, 010-863-044	Lot 17 & 18	57	27	23	2 W6M	636I
	201 Seventh Street East	1920	016-233-018, 016-233-034	Lot 1 & 2	56	27	23	2 W6M	636I
	204 Seventh Street East	1926	017-756-669	Parcel A (See XF9221) of	49	27	23	2 W6M	636I
	211 Seventh Street East	1913	017-870-691	Parcel B (See XF19540)	56	27	23	2 W6M	636I
	305 Robson Street	1920	016-221-451, 016-221-486	Parcel A (See 169627I) of Lot 13 & 14	28	27	23	2 W6M	636A
Milton House	306 Robson Street	1912	015-322-181, 015-322-203	Lot 24 and Parcel A (See 129998I) of Lot 23	29	34	23	2 W6M	636A
Anderson House	406 Robson Street	1905	006-053-475, 006-053-629, 006-053-955	Parcel A (See 7444I) Lot 22 -24	32	27	23	2 W6M	636D
	405 Vernon Avenue		015-335-046	Lot C		27	23	2 W6M	2292

**10.2 Features**

- a) Row of Maple Trees – 510 Mackenzie Avenue  
(Catholic Church of St. Francis of Assisi)
- b) Row of Blue Spruce Trees – 432 Third Street East
- c) Original church bell mounted in a frame set on the church grounds adjacent to Mackenzie Avenue at the Catholic Church of St. Francis of Assisi – 510 Mackenzie Avenue

**10.3 Land**

- a) Grounds of Birch Lodge – 805 Mackenzie Avenue

**11.0 Guidelines for Alterations and Development in the Revelstoke Station Heritage Conservation Area**



Figure 2: Historic Revelstoke Conservation Area

### 11.1 Introduction

This section contains guidelines respecting the manner by which the objectives of the heritage conservation area designation are to be achieved.

### 11.2 Guiding Principles

- 11.2.1 Alterations and new development should be based on the historic features and characteristics of the existing buildings, properties, avenues, streets and alleys that establish the overall appearance of the streetscapes.
- 11.2.2 In the case of an existing building, any proposed design should retain historic features and, whenever possible, enhance the historic character of the building.
- 11.2.3 In the case of major additions, the proposed design shall be derived from the historic characteristics of the existing building and its relationship to the property on which it is located.
- 11.2.4 In the case of new construction, the proposed design shall be derived from the size and shape of buildings and spatial relationships of the surrounding streetscape.

### 11.3 Applying the Guidelines

#### New Construction

- 11.3.1 In the case of new construction of principle buildings or accessory buildings, the guidelines found in **Section 11.4 – Site Layout** and **Section 11.5 – Building Massing** shall be considered during design and review. Although, new construction need not mimic the historic architectural styles and features in the area, applicants are encouraged to consider the guidelines in **Section 11.6 – Building Features** and develop exterior building details that complement the historic building features of the surrounding streetscape.

#### Alterations and Additions to Existing Buildings

- 11.3.3 In the case of changes to the size and shape of existing buildings, the guidelines found in **Section 11.5 - Building Massing** shall be considered during design and review. Where changes to the size and shape of existing buildings will change building setbacks or provisions for parking, the guidelines found in **Section 11.4 – Site Layout**, should be considered during design and review.
- 11.3.4 When a Heritage Alteration Permit will accompany an incentive for restoration or reconstruction of a historic building feature, the guidelines found in **Section 11.6 – Building Features** shall be considered during design and review.
- 11.3.5 When a Heritage Alteration Permit is not required, the guidelines should be referred to as a source of advice about the features and characteristics of the heritage conservation area.

### 11.4 Site Layout

- 11.4.1 Guidelines for Site Layout should be considered for:
  - a) Planning and review of subdivision of land;
  - b) Design and review of new construction of principle buildings and/or accessory buildings;

- c) Design and review of additions to existing buildings where building setbacks and/or provisions for parking will be changed; and
- d) Planning, design, review and execution of public works projects in the area.

**11.4.2** Historically, buildings in the heritage conservation area were sited with the front elevation parallel to, but set back from, the fronting avenue or street. This traditional siting arrangement created a front yard and a rear yard on every property. The resulting streetscapes are characterized by a linear roadway paralleled on both sides by a green swath of front yards edged by a more or less straight row of building facades.



**Figure 3:** Rendering of Heritage Property

### **Mature Trees**

**11.4.3** The character of the heritage conservation area is enhanced by the ongoing presence of mature trees.

- a) Healthy, mature trees lining Mackenzie Avenue and Fourth through Seventh Streets should be retained and protected;
- b) When new trees are planted, new trees should be located at the edges of properties; and
- c) Trees along avenues and streets should be spaced at intervals of more or less 25 feet, reflecting the historic pattern of land subdivision in the area.

### **Building Setbacks**

**11.4.4** Residential streets in the heritage conservation area are generally characterized by the more or less uniform setback of dwellings along the street. The depth of the average setback varies from block to block throughout the area. The size and location of additions to existing buildings, or new construction, should be designed to maintain the median setback of the adjacent block face.

**Parking**

**11.4.5** New parking, driveways and garages should be located in rear yards or side yards of corner lots.

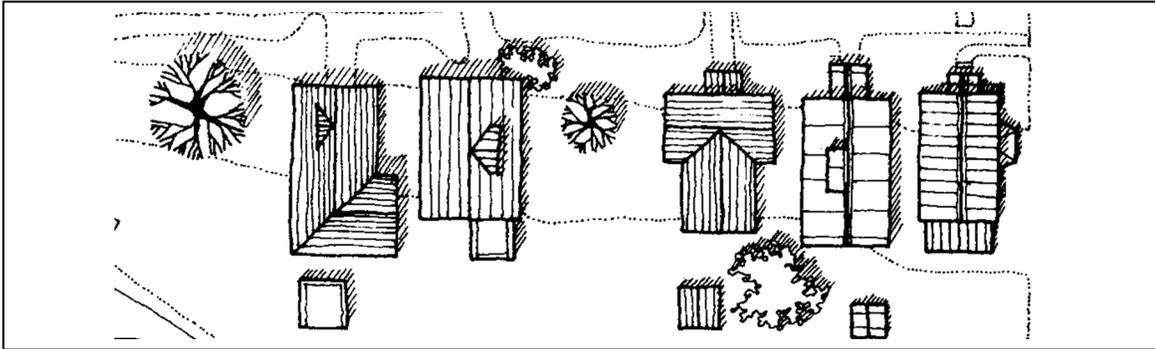


Figure 4: Example of Building Setbacks for Heritage Buildings

- a) For mid-block properties, parking should be accessed from alleys.
- b) For corner properties, parking should be accessed from alleys or, for properties fronting on Third through Seventh Streets, from the side avenues, and for properties fronting on Mackenzie Avenue, from the side streets.

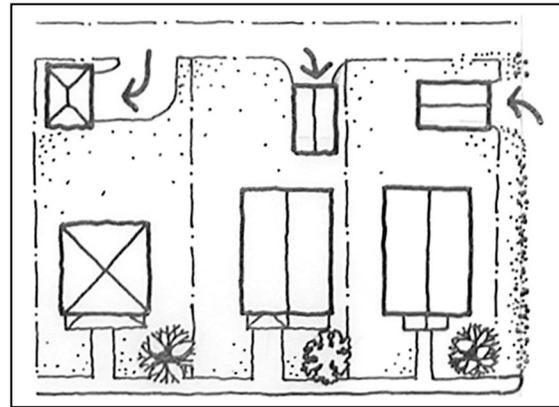


Figure 5: Example of Parking for Heritage Properties

**Subdivision of Land**

By 1899, most of the heritage conservation area had been subdivided into 25 by 100 foot lots, establishing a repetitive rhythm for the streetscapes. Rows of homes built on single 25 foot wide lots are the predominant pattern on some streetscapes. Other streetscapes are characterized by homes built on two, or more, adjacent lots.

- 11.4.6** For new construction, Subdivision of land should follow the lot pattern established for the majority of the adjacent block face.
- 11.4.7** Subdivision of larger lots should create smaller lots that are 100 feet deep with frontages on Mackenzie Avenue or Third through Seventh Streets that are 25 feet wide or multiples of 25 feet wide.

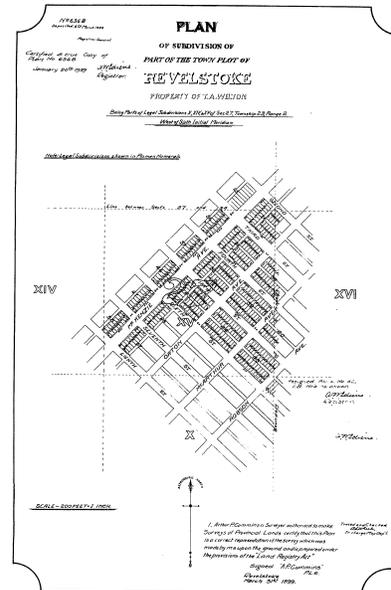


Figure 6: Example of Subdivision Plan for Heritage Properties

## 11.5 Building Massing (Size and Shape)

11.5.1 Guidelines for Building Massing should be considered for:

- a) Design and review of new construction of principle and/or accessory buildings; and
- b) Design and review of additions to existing buildings.

11.5.2 New construction or additions to existing buildings should maintain the established massing of the streetscape.

### Building Height

Most of the early residential buildings were one to two full storeys in height with steeply pitched roofs that increased a building's height by the equivalent of a storey or more. Commonly, the height between the floor and ceiling in each storey was nine or ten feet, especially in the first storey. Often the elevation of the main floor was several feet above outside grade, further increasing the overall height of the building.

11.5.3 For the purposes of these guidelines, building height refers to total height from grade to the ridge of the roof.

11.5.4 For the purposes of these guidelines, storey height refers to the height of the exterior walls between the top of the foundation and the roof edge.

### Historic Building Heights



Figure 7: Example of Building Heights for Heritage Properties (1 storey, 1.5 storeys, 2 storeys)

11.5.5 New construction or additions to existing buildings should create buildings whose building height includes:

- a) A distance from grade to the first floor that is between 2 and 5 feet;
- b) One storey, one and a half storeys or two storeys between the first floor and the roof edge; and
- c) A steeply pitched roof over the uppermost storey.

### Proportion

11.5.6 The proportions of the early residential buildings often reflected the width and length of the lots on which they were built. Generally the principle mass of the building was rectangular in plan, often with smaller additions at the rear,

porches on the front or projecting bay windows. For new construction and additions to existing buildings:

- a) The principle footprint of the building should be rectangular; and
- b) The footprint of smaller extensions may be rectangular or incorporate angled planes in traditional configurations.

**11.5.7** On long narrow lots, generally 25 or 50 feet wide and 100 feet long, often the height of the front façade was taller than its width. Since many residences were often closely spaced along a linear streetscape, the front façade was emphasized over all the others.

- a) On narrow lots, 25 or 50 feet wide, the height of the front façade should be greater than its width.

**11.5.8** Larger residential buildings were often located on wider lots, perhaps 100 feet or more in width along the street and usually 100 feet deep. These buildings were often wider with careful detailing on all visible elevations.

- a) On wide lots the proportions of the principle building may be wider across the front than its height.



**Figure 8:** Example of Building Height for a Heritage Building



**Figure 9:** Example of Larger Heritage Residential Lot

**Roofs**

Most residential buildings were built with steeply pitched roofs. On most buildings the primary roof was sloped at a 45° angle, or a 12 in 12 pitch. Secondary roofs over porches, bay windows, small additions or changes in roof pitch were built with varying slopes, usually between 6 in 12 and 12 in 12. Occasionally, very steep pitches of 60° were used to accentuate gables.

**11.5.9** New construction:

- a) Should reflect the historic steeply pitched roof forms of the area;
- b) In blocks with a dominant roof form new infill construction, should be consistent with that roof form; and
- c) Secondary roofs should be consistent in form and proportion with the building’s primary roof form.



*Historic Gable Roof*



*Historic Hip Roof*



*Historic Shed Roof Dormer*



*Historic Gambrel Roof Gable*

**Figure 10:** Example of Historic Roof Types

**11.5.10** Additions to existing buildings:

- a) Secondary roofs should be consistent in form and proportion with the building’s primary roof form.

**Building Styles**

Residential buildings in the heritage conservation area were generally built in one of five vernacular building styles. Within those five styles, many variations were incorporated in the original designs.

**Historic Building Styles**

- 1) Gable Front:
  - a) Facing One Street
  - b) Facing Two Streets



- 2) Four Square with
  - a) Hip Roof Lines



- 3) Gambrel Front

- 4) Bungalow with Hip Roof Lines
- 5) Craftsman Bungalow With Shed Roof



- 6) One-of-a-Kind Buildings
  - a) The area also includes several one-of-a-kind buildings whose design was unique in Revelstoke and usually influenced by Victorian architectural styles.



*Figure 11: Example of Historic Building Styles*

**11.5.11** New construction:

- a) Should complement the historic building styles of the surrounding streetscape; and
- b) In streetscape blocks with a single repeated historic building style, the form of new infill construction should be consistent with that dominant style.

**11.5.12** Additions to existing buildings:

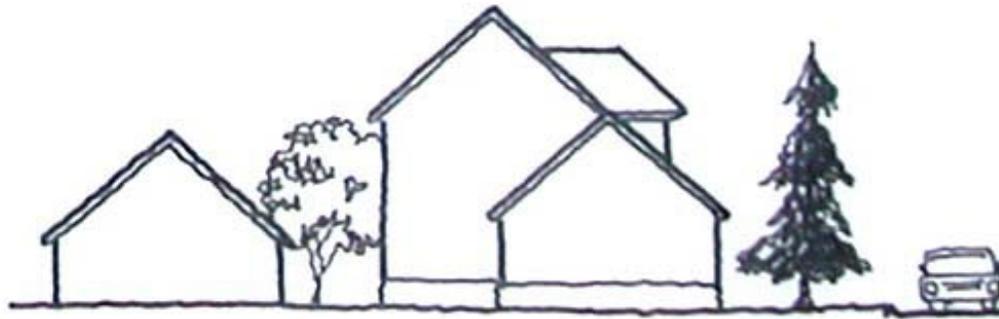
- a) Should be consistent with the proportions, form and style of the principle mass of the building.

**11.5.13** Accessory buildings:

- a) Garages and other secondary buildings should be subordinate in size and height to the building massing of the principle structure; and
- b) Should be consistent with the proportions, roof form and building style of the principle structure.



*Figure 12: Example of New Construction in Heritage Area*



*Figure 13: Site Layout in Heritage Area*

**Environmental Considerations**

High levels of precipitation, in the form of snow and/or rain, and significant fluctuations in temperature are typical of the local climate.

**11.5.14** New construction and additions to existing buildings should:

- a) Avoid snow falling from roofs onto, or the formation of ice on, pedestrian ways or neighbouring properties;
- b) Avoid complex roof forms and tight roof valleys that will hold excess snow; and
- c) Provide weather protected entrances, such as porches or roofs.

**11.6 Building Features**

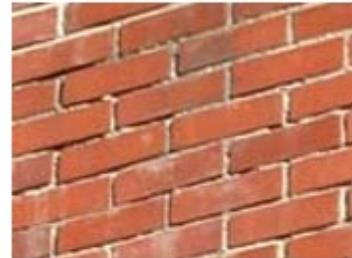
**11.6.1** Guidelines for Building Features:

- a) Should be considered during design and review when incentives will be provided for restoration of existing, or reconstruction of missing, historic building features on a protected heritage property; and
- b) Should be referred to as a source of advice about the historic features and characteristics of the buildings in the area.

**11.6.2** Historic features on existing buildings should be retained and, if necessary, repaired rather than replaced.

**Wall Surfaces**

- 1) During the historic period, between 1897 and 1915, walls were surfaced with:
  - a) Wood clapboard siding in a variety of profiles, laid horizontally with corner boards, or thin wood shingles
  - b) Locally manufactured brick
  - c) Locally manufactured decorative concrete block
  
- 2) In later years other traditional wall surfaces were introduced including:
  - a) Bottle glass' stucco
  - b) Painted gypsum stucco



*Figure 14: Example of Historic Building Features*

**Roof Surfaces**

- 1) During the historic period, between 1897 and 1915, roofs were surfaced with:
  - a) Thin wood shingles
  - b) Corrugated or flat sheet metal roofing
  - c) Metal ridge cap flashing
  
- 2) Other roof surfaces that complement historic roofs were introduced in later years including:
  - a) Sheet metal roofing in a variety of profiles and colours
  - b) Metal roof shingles in a variety of colours



*Figure 15: Example of Historic Roof Surfaces*

- c) Decorative asphalt shingles

**Porches and Balconies**

- 1) Historic porches and balconies included:
  - a) Enclosed porches with vertically glazed windows
  - b) Skirting, sometimes accented with wood shingles
  - c) Open front porches with decorative railings and columns



Figure 16: Example of Historic Porch

**Windows and Doors**

- 1) Historically, windows and doors included:
  - a) Vertical double hung windows
  - b) Bay windows
  - c) Multiple pane windows, some with leaded or coloured glass
  - d) Accent windows in a variety of shapes often with decorative mullions, stained, coloured or beveled glass
  - e) Rail and stile doors with recessed panels or glass panels

Double Hung Window



Bay Window



Accent Windows



Multiple Pane Windows



Figure 17: Example of Historic Windows

**Roof and Gable Decorations**

- 1) Historical details at roofs and gables included:
  - a) Returned eaves and projecting roof edges
  - b) Molded frieze and belt line outlining roof edges and gables
  - c) Gable, hip or shed roofed dormers
  - d) Ornamental shingles
  - e) Decorative brackets under roof eave (Craftsman style)

**Chimneys**

- 1) Historically, chimneys were capped with
  - a) Corbelled brick.

**Fences and Hedges**

- 2) Historically, the edges of properties were often lined with painted picket fences. Over time, traditional wrought iron fences or hedges were added to delineate individual properties.

**Colour**

- 1) Colour can dramatically enhance the visual impact of a building and its streetscape.
- 2) When selecting colours for building exteriors consider:

- a) The original historic colours used on the building, if evidence remains.
- b) Presence of historic brick, decorative concrete block, stone, or coloured glass.
- c) The style of the individual building.
- d) The streetscape context and neighbouring colour schemes.



**Figure 18:** Example of Historic Roof and Gable Decorations

- 3) Further research is required to determine the full palette of historic colours in the heritage conservation area. Evidence suggests that original colours included:

- a) Deep green, red, and brown, especially for contrasting trim.
- b) White and creams for contrasting trim.
- c) Creams and various yellows, especially for siding on exterior walls.
- d) Brown tones for siding on exterior walls.
- e) Various shades of grey either for contrasting trim or exterior walls.
- f) Red brick with orange undertones.
- g) Grey concrete block.
- h) Whitish-grey and grey granite stones.
- i) Window glass in earth tones, or strong primary colours.



**Figure 19:** Example of Historic Chimney



**Figure 20:** Example of Historic Fences and Hedges

- 4) Historically sympathetic colour schemes might:
  - a) Revive the original colours where historic features are intact
  - b) Be based on historic research when the building exhibits a recognizable style
  - c) Use contrasting but complementary colours to accent trim
  - d) Use colour to highlight architectural details

#### **New Construction**

- 11.6.3** Applicants are encouraged to consider the guidelines for Building Features and develop exterior building details that complement the historic building features of the surrounding streetscape.

#### **Additions and Alterations to Existing Buildings**

- 11.6.4** Applicants are encouraged to identify the historic characteristics of the existing building and incorporate exterior building features that are consistent.